

PROJECT TEAM

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FINAL DEVELOPMENT PLAN

AGRA HOLDINGS, L.P. BUILDING EXPANSION

LOT 3, DEL CAMINO JUNCTION BUSINESS PARK FIFTH MINOR PLAT

COVER SHEET TOWN OF FIRESTONE COUNTY OF WELD

STATE OF COLORADO **SHEET 1 OF 12**

MARCH 2012



INDEX OF DRAWINGS

COVER SHEET NARRATIVE SHEET **NOTES SHEET** SITE PLAN UTILITY PLAN **GRADING PLAN** SITE AND UTILITY DETAILS **EROSION CONTROL PLAN EROSION CONTROL DETAILS** LANDSCAPE PLAN **EXTERIOR ELEVATIONS** PHOTOMETRIC PLAN

LEGAL DESCRIPTION

SECTION TWO (2), TOWNSHIP TWO NORTH (T.2N.), RANGE SIXTY-EIGHT WEST (R.68W.) OF THE

SAID PARCEL CONTAINS 1.327 ACRES, MORE OR LESS.

APPROVAL BLOCK

APPROVED BY THE TOWN BOARD OF TRUSTEES OF THE TOWN OF FIRESTONE, COLORADO THIS DAY OF February

RESOLUTION NO. 12.04

APPROVAL BLOCK BY SIGNING THE FDP. THE OWNER ACKNOWLEDGES AND ACCEPTS ALL OF THE REQUIREMENTS AND INTENT SET FORTH HEREIN.

STATE OF COLORADO) COUNTY OF WELD) SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 212 DAY OF 421,2012. BY Kenneth m. Green

WITNESS MY HAND AND

9/8/2012 MY COMMISSION EXPIRES

Agra Holdings, L.P. Building Expansion COVER SHEET Name of Submittal: AGRA HOLDINGS, L.P. BUILDING EXPANSION
Type of Submittal: FDP Filing Number: Phase Number:
 Preparation Date:
 01/11/2012

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Sheet 1 of 12

Date MARCH 23, 2012 Job No. 0150 0150.1 SHEET

FDP-1

Design TWC Drawn TWC

Checked TWC | Checked TWC

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BUILDING EXPANSION USINESS PARK FIFTH MINO

SITE LIMITS LIMITS \ WCR 24 3/4 FIRESTONE WCR 24 1/2 WCR 24 1/2 FIRESTONE BLVD. (WCR 2/4) STATE HIGHWAY 119 FIRESTONE

VICINITY MAP

SCALE: 1" = 1.200"

LIMITS

BENCHMARK

PROJECT BENCHMARK: FIRESTONE BENCHMARK BM 25; MARKED "X" ON NORTH END OF HEADWALL AT NORTHWEST CORNER OF INTERSECTION OF FIRESTONE BLVD. AND COLORADO BLVD. ELEVATION = 4848.265 (1929 NAVD)

CONSTRUCTION REFERENCE

UNLESS OTHERWISE NOTED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS, THE TOWN OF FIRESTONE DESIGN CRITERIA AND CONSTRUCTION REGULATIONS, LATEST EDITION, THE STATE OF COLORADO DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE SITE GEOTECHNICAL REPORT.



WHERE THIS SYMBOL OCCURS, CONTRACTOR TO POTHOLE EXISTING UTILITY(S) AND DETERMINE LOCATION, DEPTH, CONDITION, TYPE OF UTILITY, ANY SPECIAL CONDITIONS AND REPORT TO THE ENGINEER PRIOR TO STARTING ANY WORK ON

FINAL DEVELOPMENT PLAN AGRA HOLDINGS, L.P. BUILDING EXPANSION LOT 3, DEL CAMINO JUNCTION BUSINESS PARK FIFTH MINOR PLAT

NARRATIVE SHEET TOWN OF FIRESTONE **COUNTY OF WELD** STATE OF COLORADO SHEET 2 OF 12

PROJECT CONCEPT

THIS FINAL DEVELOPMENT PLAN ESTABLISHES THE PLANNING AND SITE PLAN WITHIN THE DEVELOPMENT OF THE DEL CAMINO JUNCTION BUSNIESS PARK. APPROVAL OF THE FINAL DEVELOPMENT PLAN AND THE ASSOCIATED DOCUMENTS WILL PROVIDE SPECIFIC SITE CONFORMANCE TO THE TRAFFIC ACCESS PLAN, LANDSCAPE PLAN, UTILITY PLAN AND DRAINAGE PLANS, AND THE ARCHITECTURAL THEME OF THE OVERALL DEVELOPMENT.

ENVIROMENTAL IMPACT MITIGATION

THERE IS NO EVIDENCE OF RECOGNIZED ENVIRONMENTAL CONDITIONS IN THE CONNECTION WITH THIS SITE.

PLEASE REFER TO THE "PHASE I ENVIRONMENTAL SITE ASSESMENT REPORT" PREPARED FOR THE DEL CAMINO BUSINESS PARK ODP/FDP, ON 9/20/99 BY ENVIRONMENTAL SCIENCE CORPORATION.

PRIVATE MAINTENANCE AND ENFORCEMENT

THE DECLARATION OF RECIPROCAL EASEMENTS AND RESTRICTIONS HAS BEEN PROVIDED, WHICH WILL GOVERN THE DEVELOPMENT AND MAINTENANCE OF ALL THE PROPERTIES WITHIN THE BUSINESS PARK.

OPEN SPACE

AN OVERALL STREET LANDSCAPE PLAN FOR THE DEL CAMINO JUNCTION BUSINESS PARK WAS APPROVED WITH THE OVERALL FINAL DEVELOPMENT PLAN.

ADDITIONALLY, LOT 3, WILL BE LANDSCAPED AS ILLUSTRATED IN THIS FINAL DEVELOPMENT PLAN. LANDSCAPING MATERIALS AND DESIGN WILL CONFORM TO THE THEME ESTABLISHED.

THE ON-SITE LANDSCAPING WILL BE MAINTAINED BY THE OWNER OF LOT 3.

A.D.A. COMPLIANCE

THE FINAL DEVELOPMENT PLAN HAS BEEN DESIGNED, TO THE BEST OF THE DESIGNER'S KNOWLEDGE AND ABILITIES, TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT.

DRAINAGE

REFER TO THE FINAL DRAINAGE REPORT PREPARED BY RIDGELINE CONSULTANTS, INC., DATED FEBRUARY 24, 2012, WHICH IS FILED UNDER THIS FINAL DEVELOPMENT PLAN AND SUPPLEMENTAL DOCUMENTS, FOR A DESCRIPTION OF THE STORM DRAINAGE FOR THIS FINAL DEVELOMENT PLAN. THE SITE PLAN IS DESIGNED TO CONFORM TO THE APPROVED FINAL DRAINAGE REPORT FOR DEL CAMONI JUNCTION BUSNIESS PARK, P.U.D., FIRESTONE, COLORADO PREPARGED BY TUTTLE APPLEGATE, INC. DATED AUGUST 15, 1999. THE SITE DEVELOPMENT WILL SURFACE DRAIN TO THE EXISTING STORMWATER DETENTION POND #2 THAT WAS DESIGNED AND CONSTRUCTED AS PART OF THE SUBDIVISION DEVELOPMENT.

ALL UTILITIES ARE AVAILABLE TO LOT 3 THROUGH THE EXISTING BUILDING WITH AN ADDITIONAL SANITARY SEWER LINE TO THE NORTH OF THE EXISTING BUILDING.

COLORADO CONSULTING ENGINEERS REVIEWED THE SEWER AND DOMESTIC WATER FIXTURE UNIT REQUIREMENTS FOR THE NOTED PROJECT USING THE 2006 INTERNATIONAL PLUMBING CODE AS A GUIDELINE FOR THE BUILDING.

IT WAS DETERMINED, AS CALCULATED A 3/4" WATER METER WITH A 3/4" WATER LINE TO THE BUILDING WILL ADEQUATELY SERVE THE EXISTING BUILDING'S, BUILDING ADDITION & IRRIGATION WATER REQUIREMENTS. A 4" SANITARY SEWER WILL ADEQUATELY SERVE THE EXISTING BUILDING'S WASTE REQUIREMENTS.

ABOVE GROUND DRY UTILITY FACILITIES WILL BE SCREENED WITH LANDSCAPING IN COORDINATION WITH THE UTILITY PROVIDERS' REQUIREMENTS FOR SETBACKS OF PLANTING MATERIALS.

PARKING

PROVIDED USE: OFFICE

I SPACE/350 S.F. = 31 SPACES REQUIRED, INCLUDING I HANDICAP-ACCESSIBLE

19 SPACES PROVIDED, INCLUDING 2 HANDICAP-ACCESSIBLE WITH THE EXISTING BUILDING 16 SPACES PROVIDED WITH THE BUILDING EXPANSION

35 TOTAL SPACES PROVIDED, INCLUDING 2 HANDICAP-ACCESSIBLE

BICYCLE PARKING = 2 SPACES PROVIDED

TOTAL INTERNAL LANDSCAPING WITHIN PARKING AREA: 25,451 S.F.

INTERNAL LANDSCAPING INCLUDES ALL LANDSCAPING WITHIN AND INCLUDING ADJACENT BUFFER AND SETBACK AREAS.

ARCHITECTURE

SURROUNDING ARCHITECTURE. THE LANDSCAPE DESIGN ADN PLANT MATERIALS HAVE BEEN CAREFULLY SELECTED TO CONTINUE THE PLANTING THEME OF THE OVERALL DEVELOPMENT AND ENHANCE THE EXISTING SITE IMPROVEMENTS. WALL MOUNTED UTILITIES WILL BE SCREENED OR CAMOUFLAGED WITH PLANT MATERIAL

SIGN PROGRAM

NO NEW OR ADDITIONAL SIGNAGE WILL BE INCLUDED IN THE CONSTRUCTION OF THE BUILDING EXPANSION. ALL EXISTING SIGNAGE, INCLUDING THE MONUMENT SIGN IS TO REMAIN.

BUILDING HEIGHT

THE MAXIMUM BUILDING HEIGHT FOR THIS FINAL DEVELOPMENT PLAN IS AS SHOWN ON THE EXTERIOR BUILDING ELEVATION SHEET.

SETBACKS

PRINCIPAL BUILDING SETBACKS ARE AS DIMENSIONED ON THIS FINAL DEVELOPMENT PLAN. SEE SITE PLAN SHEET FDP-5.

MARCH 2012

DEVELOPMENT SCHEDULE

APPROXIMATE CONSTRUCTION START DATE: APPROXIMATE COMPLETION DATE:

JULY 2012

CIRCULATION SYSTEMS

THERE IS CURRENTLY EXISTING ACCESS OFF OF BUSINESS PARK CIRCLE. ADDITIONALLY, A NEW ACCESS IS TO BE PROVIDED DIRECTLY TO THE NORTH OF THE NEW BUILDING EXPANSION.

WATER DEDICATION

WATER DEDICATION WAS DETERMINED BASED ON INFORMATION PROVIDED BY THE APPLICANT. THE TOTAL AMOUNT OF CBT WATER TO BE DEDICATED TO THE TOWN WAS CALCULATED BASED ON ACRES OF IRRIGATED LANDSCAPING ON THE SITE AND TOTAL ESTIMATED DOMESTIC (IN-BUILDING) DEMAND. THE TOWN SHALL AT ALL TIMES HAVE THE RIGHT TO REQUIRE ADDITIONAL WATER DEDICATION IF ACTUAL CONSUMPTION EXCEEDS THIS CALCULATED ESTIMATE. IF THE TOWN DETERMINES THAT ADDITIONAL CBT WATER IS TO BE DEDICATED THE LOT OWNER SHALL PROVIDE THE WATER WITHIN 30 DAYS OF WRITTEN NOTICE BY THE TOWN. THE ADDITIONAL DEDICATION SHALL BE BASED ON THE TOWN'S THEN CURRENT WATER DEDICATION POLICIES.

THE TOWN OF FIRESTONE HAS DETERMINED THAT THE REQUIRED CBT DEDICATION TO BE:

IRRIGATION DEMAND:

1.46 SHARES 0.27 SHARES

DOMESTIC DEMAND:

EXISTING CBT SHARES PREVIOUSLY DEDICATED = I SHARE

A TOTAL OF (I) ONE SHARE SHALL BE TRANSFERRED TO THE TOWN OR CASH IN-LIEU PAYMENT MADE PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.

ZONING AND ALLOWED USES

LOT 3 IS ZONED PUD ROJEC WHICH ALLOWS FOR OFFICE USE.

SERVICE REQUIREMENTS

THIS DEVELOPMENT SHALL BE SERVICED BY THE FOLLOWING UTILITY COMPANIES:

SOURCE GAS UNITED POWER CENTURY LINK

TOWN OF FIRESTONE SANITARY SEWER:

ST. VRAIN SANITATION DISTRICT TOWN OF FIRESTONE

POLICE:

FREDERICK/FIRESTONE FIRE PROTECTION DISTRIC

ALL UTILITIES EXIST IN THE SITE ABOVE GROUND DRY UTILITY FACILITIES WILL BE SCREENED WITH LANDSCAPING IN COORDINATION WITH THE UTILITY PROVIDERS' 'UTILITIES' SECTION OF THIS SHEET

BUILDING ADDRESS LOT 3

11347 BUSINESS PARK CIRCLE, FIRESTONE, CO 80504

	AND USE	TABLE	
II373 BUSINESS PUD RC/EC OFFICE	PARK CIRCLE		
	SQUARE FEET	ACRES	PERCENTAGE
	51,800 10,312 21,911 25,451	1.326± 0.238± 0.504± 0.584±	100% 18% 38% 44%
	5 <i>8</i> 62 4,722		
	10,584		
	<i>0</i> 30 2		
	II373 BUSINESS PUD RC/EC	II3T3 BUSINESS PARK CIRCLE PUD RC/EC OFFICE SQUARE FEET 51,800 10,312 21,911 25,451 5,862 4,122 10,584 O 30	PUD RC/EC OFFICE SQUARE FEET ACRES 57,800 I.326± 10,372 0.238± 21,977 0.504± 25,45I 0.584± 5,862 4,722 10,584 0 30

Drawn Agra Holdings, L.P. Building Expansion Checked Checked Name of Submittal: AGRA HOLDINGS, L.P. BUILDING EXPANSION
Type of Submittal: FDP Date JANUARY 11, 2012 Job No. 0150 FDP-2

NARRATIVE SHEET

Sheet 2 of 12

Filing Number:

Phase Number:

Revision Date:

Revision Date:

Revision Date:

 Preparation Date:
 01/11/2012

 Revision Date:
 02/24/2012

 Revision Date:
 03/23/2012

GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE TOWN OF FIRESTONE'S MOST RECENT DEVELOPMENT STANDARDS AND SPECIFICATIONS GOVERNING THE CONSTRUCTION OF PUBLIC IMPROVEMENTS. A COPY SHALL REMAIN ON SITE FOR REFERENCE AT ALL TIMES.
- 2. THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES (I.E. DITCH COMPANY, CENTRAL WELD WATER DISTRICT, ST. VRAIN SANITATION DISTRICT) ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED. REPAIR OF DAMAGED UTILITIES SHALL BE AT THE CONTRACTORS EXPENSE, INCLUDING UNKNOWN UNDERGROUND UTILITIES.
- 4. DURING CONSTRUCTION AND UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS.
- 5. THE CONTRACTOR SHALL CONFORM TO ALL SAFETY PRECAUTIONS DURING CONSTRUCTION AS SET FORTH BY BOTH OSHA PUBLICATION 2226 FOR EXCAVATING AND TRENCHING OPERATIONS, AND INCLUDING ALL STATE AND FEDERAL REGULATIONS SET FORTH IN CFR (CODE OF FEDERAL REGULATIONS) 29, ALL PARTS.
- 6. THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED FINAL DEVELOPMENT PLAN AND THE FIRESTONE DESIGN CRITERIA AND CONSTRUCTION REGULATIONS MANUAL ON—SITE AT ALL TIMES.
- EXISTING FENCES, TREES, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS.
- 8. A COLORADO DEPARTMENT OF HEALTH CONSTRUCTION DEWATERING WASTEWATER DISCHARGE PERMIT IS REQUIRED IF DEWATERING IS REQUIRED TO INSTALL UTILITIES AND WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES.
- 9. ALL DISTURBED SOIL, ON- OR OFF-SITE, AND RELATED TO WORK AT THIS PROJECT SITE, IS REQUIRED TO BE PROTECTED FROM WIND AND STORM WATER EROSION.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATING AND VERIFYING ELEVATIONS OF ALL EXISTING SEWER MAINS, WATER MAINS, CURBS, GUTTERS AND OTHER UTILITIES AT THE POINTS OF CONNECTION SHOWN ON THE PLANS, AND AT ANY UTILITY CROSSINGS PRIOR TO INSTALLING ANY OF THE NEW IMPROVEMENTS. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN.
- 11. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION.
- 12. ANY DISRUPTION OF UTILITY SERVICE THAT IS REQUIRED TO ADJUST, EXTEND, RELOCATE OR OTHERWISE MODIFY ANY UTILITY WITHIN THE PROJECT AREA SHALL BE COORDINATED IN ADVANCE WITH THE AFFECTED UTILITY ENTITY AND CUSTOMERS SHALL BE NOTIFIED 48 HRS PRIOR TO THE START OF DISRUPTION.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL OTHER APPLICABLE PERMITS NOT SPECIFICALLY REQUIRED BY THE TOWN OF FIRESTONE.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED IMMEDIATELY BY AN APPROPRIATE METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT—END LOADER, HANDWORK, ETC.) AND APPROVED BY THE INSPECTOR. THE FREQUENCY AND EFFORT OF STREET CLEANING OPERATIONS SHALL BE DIRECTLY RELATED TO THE AMOUNT OF CONSTRUCTION TRAFFIC AND WEATHER CONDITIONS. THE CONTRACTOR SHALL IMMEDIATELY ADDRESS ANY STREET CLEANING PROBLEMS IDENTIFIED BY THE TOWN.
- 15. AFTER ACCEPTANCE BY THE TOWN, PUBLIC IMPROVEMENTS DEPICTED IN THESE PLANS SHALL BE GUARANTEED TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- 16. CONSTRUCTION WORK SHALL NOT OCCUR BEFORE 7AM OR AFTER 7PM ON WEEKDAYS.
- 17. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CONFLICTS WITH PROPOSED UTILITIES AND IMPROVEMENTS WITHIN THE FIRST TWO WEEKS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL EXISTING UTILITY INFORMATION.

GRADING NOTES

- 1. ALL FILLS IN STREET RIGHT-OF-WAYS SHALL BE COMPACTED PER TOWN OF FIRESTONE SPECIFICATIONS. ALL EARTHWORK IN STREET RIGHT-OF-WAYS SHALL COMPLY WITH TOWN OF FIRESTONE SPECIFICATIONS.
- 2. ALL DISTURBED AREAS NOT UNDER A PAVED ROADWAY SHALL BE RESEEDED AND MULCHED NO MORE THAN 30 DAYS AFTER COMPLETION OF GRADING OPERATIONS. PRIOR TO RESEEDING THE SOIL SHALL BE AMENDED PER THE RECOMMENDATIONS OF THE REVEGETATION PLAN.

	SOIL AMENDMENT SHALL INCLUDE:				
	NAAPPLIED AT				
	APPLIED AT				
	APPLIED AT				
. **	THE SEED MIX SHALL BE (DRILLED RATES):				
	NA APPLIED AT				
	APPLIED AT				
	APPLIED AT				

HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE 2 TONS/ACRE AND MECHANICALLY CRIMPED INTO THE SOIL.

- 3. THE CONSTRUCTION AREA SHALL BE WATERED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION ACTIVITIES SO AS TO PREVENT WIND—CAUSED EROSION AND DUST. ALL LAND DISTURBING ACTIVITIES SHALL BE IMMEDIATELY DISCONTINUED WHEN FUGITIVE DUST IMPACTS ADJACENT PROPERTIES, AS DETERMINED BY
- 4. ALL RECOMMENDATIONS OF THE STORM WATER MANAGEMENT PLAN SHALL BE FOLLOWED AND IMPLEMENTED.

FINAL DEVELOPMENT PLAN AGRA HOLDINGS, L.P. BUILDING EXPANSION LOT 3, DEL CAMINO JUNCTION BUSINESS PARK FIFTH MINOR PLAT

NOTES SHEET
TOWN OF FIRESTONE
COUNTY OF WELD
STATE OF COLORADO
SHEET 3 OF 12

WATER NOTES

- . ALL WATER LINE CONSTRUCTION AND STREET REPAIR WORK SHALL CONFORM TO THE TOWN OF FIRESTONE DESIGN CRITERIA AND CONSTRUCTION REGULATIONS MANUAL CURRENT AT THE TIME THE WORK COMMENCES.
- 2. THE CONTRACTOR SHALL COORDINATE CONNECTION TO EXISTING WATER LINES WITH THE TOWN MAINTENANCE SUPERINTENDENT (THEO ABKES) AND THE TOWN ENGINEER (DAVE LINDSAY). UNLESS EXPRESSLY GIVEN PERMISSION OTHERWISE ONLY THE TOWNS PUBLIC WORKS DEPARTMENT SHALL OPERATE EXISTING WATER VALVES OWNED BY THE TOWN.

THEO ABKES (303) 833-3291 DAVE LINDSAY (970) 278-0029

- 3. ALL NEW VALVES AND FITTINGS TO BE INSTALLED SHALL HAVE MECHANICAL JOINTS WITH JOINT RESTRAINTS AND SHALL BE WRAPPED WITH 8 MIL POLYETHYLENE. ALL NEW FITTINGS TO BE INSTALLED SHALL BE DUCTILE IRON FITTINGS.
- 4. ALL VALVES TO BE MECHANICALLY RESTRAINED OR INSTALLED WITH FOSTER ADAPTER COUPLINGS TO ELIMINATE THE NEED FOR LONG SPOOL PIPE PIECES BETWEEN FITTINGS AND VALVES
- 5. ALL NEW PVC WATER LINES TO BE INSTALLED SHALL CONFORM TO AWWA C900 AND C905, DR25 165 PSI PRESSURE CLASS. ALL WATER LINES SHALL BE INSTALLED WITH TRACER WIRE OF A MINIMUM OF 14 GA., INSULATED WIRE.
- 6. ALL BACKFILL SHALL BE COMPACTED PER TOWN OF FIRESTONE SPECIFICATIONS. THE TOWN WILL PROVIDE THE GEOTECHNICAL TESTING FIRM, AND THE CONTRACTOR SHALL COORDINATE TESTING.
- 7. ALL WATER LINES SHALL BE INSTALLED WITH A MINIMUM COVER FROM FINISHED GRADE TO THE TOP OF PIPE OF 5 FEET. MAXIMUM COVER SHALL BE 6 FEET UNLESS APPROVED BY THE TOWN ENGINEER.

STREET CONSTRUCTION NOTES

- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN PREPARED BY A LICENSED CIVIL ENGINEER, A.T.S.S.A. (AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION) OR C.C.A. (COLORADO CONTRACTOR'S ASSOCIATION) CERTIFIED TRAFFIC TECHNICIAN FOR REVIEW AND APPROVAL BY THE TOWN ENGINEER PRIOR TO COMMENCEMENT OF ANY WORK. THE PLAN SHALL ACCOMMODATE TWO WAY TRAFFIC TO THE EXTENT POSSIBLE BETWEEN THE HOURS OF 8:00 AM AND 5:00 PM. TWO WAY TRAFFIC MUST BE RESTORED BETWEEN THE HOURS OF 5:00 PM AND 8:00 AM. TRAFFIC MAY BE REDUCED TO SINGLE LANE FOR SHORT PERIODS DURING THE DAY WITH APPROPRIATE FLAGGERS. TRAFFIC MAY BE STOPPED IN BOTH DIRECTIONS ONLY TO ALLOW CONSTRUCTION EQUIPMENT TO CROSS THE ROADWAY. TCS (TRAFFIC CONTROL SUPERVISOR) SHALL BE ON SITE AT ALL TIMES WHEN FLAG PERSONNEL ARE IN USE. UNSAFE TRAFFIC CONDITIONS AT THE TOWN'S DISCRETION SHALL WARRANT WORK STOPPAGE.
- 2. WHEN AN EXISTING ASPHALT STREET MUST BE CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE TOWN BEFORE ANY CUTS ARE MADE. PATCHING SHALL BE DONE IN CONFORMANCE WITH THE TOWN OF FIRESTONE CURRENT STREET REPAIR REQUIREMENTS. PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE.
- 3. PRIOR TO PERMANENT INSTALLATION OF TRAFFIC STRIPING AND SYMBOLS, THE CONTRACTOR SHALL PLACE TEMPORARY TABS AND MARKINGS DEPICTING ALIGNMENT AND PLACEMENT OF THE SAME. TABS AND MARKINGS SHALL BE APPROVED BY THE TOWN PRIOR TO PERMANENT INSTALLATION OF STRIPING AND SYMBOLS.
- 4. ALL LANE STRIPING SHALL BE EPOXY PAINT, MINIMUM 15 MILS THICK WHEN DRY, AND HAVE A GLASS BEAD TO PAINT RATIO OF 25 LBS/GALLON. EPOXY PAINT SHALL BE APPLIED AT A MINIMUM RATE OF 1 GAL/100 SQ.FT.
- 5. ALL SYMBOLS, INCLUDING ARROWS, ONLYS, CROSSWALKS, ETC. SHALL BE PRE—FORMED THERMO—PLASTIC (125 MILS THICK, MINIMUM). SURFACES SHALL BE THOROUGHLY CLEANED AND PREPARED PRIOR TO APPLICATION OF SYMBOLS.
- 6. PRIOR TO PLACEMENT OF H.B.P. OR CONCRETE WITHIN THE STREET AND AFTER MOISTURE TESTS HAVE BEEN TAKEN ON THE SUBGRADE MATERIAL (WHEN A FULL DEPTH SECTION IS PROPOSED) OR ON THE SUBGRADE AND BASE MATERIAL (WHEN A COMPOSITE SECTION IS PROPOSED), A MECHANICAL "PROOF ROLL" WILL BE REQUIRED. THE ENTIRE SUBGRADE AND/OR BASE MATERIAL SHALL BE ROLLED WITH A HEAVILY LOADED VEHICLE HAVING A TOTAL GVW OF NOT LESS THAN 50,000 LBS. AND A SINGLE AXLE WEIGHT OF AT LEAST 18,000 LBS. WITH PNEUMATIC TIRES INFLATED TO NOT LESS THAN 90 P.S.I.G. "PROOF ROLL' VEHICLES SHALL NOT TRAVEL AT SPEEDS GREATER THAN 3 M.P.H. ANY PORTION OF THE SUBGRADE OR BASE MATERIAL WHICH EXHIBITS ANY PUMPING OR DEFORMATION, AS DETERMINED BY THE TOWN, SHALL BE REWORKED, REPLACED OR OTHERWISE MODIFIED TO FORM A SMOOTH, NON—YIELDING SURFACE. THE TOWN SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE "PROOF ROLL". ALL "PROOF ROLLS" SHALL BE PERFORMED IN THE PRESENCE OF AN INSPECTOR. ALL DECISIONS MADE BY THE INSPECTOR SHALL BE FINAL WITH REGARDS TO MITIGATION OF DEFICIENT SUBGRADE OF BASE MATERIAL(S). PROOF ROLLS ACCEPTABLE FOR 24 HRS UNLESS HINDERED BY MOISTURE AT THE INSPECTORS DISCRETION.

STORM DRAINAGE NOTES

- 1. ALL STORM DRAIN CONSTRUCTION AND RIPRAP INSTALLATION SHALL CONFORM TO THE TOWN OF FIRESTONE DESIGN CRITERIA AND CONSTRUCTION REGULATIONS MANUAL.
- 2. CULVERT AND STORM SEWER INSTALLATION ACROSS ROADWAYS MUST BE SEQUENCED IN A MANNER THAT WILL RESULT IN AS LITTLE DISRUPTION TO TRAFFIC FLOW AS POSSIBLE AND MAINTAIN TWO WAY TRAFFIC. REDUCTION OF TRAFFIC FLOW TO A SINGLE LANE WILL ONLY BE ALLOWED FOR A SHORT PERIOD (NO MORE THAN FOUR HOURS) AND ONLY AS A LAST RESORT.
- 3. THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL ALIGNMENT OF ALL POINTS OF CONNECTION AND UTILITY CROSSINGS PRIOR TO INSTALLING ANY STORM DRAIN PIPE. IF A DESIGN MODIFICATION IS REQUIRED IT SHALL BE COORDINATED WITH THE ENGINEER.
- 4. AFTER EACH STORM, THE CONTRACTOR SHALL INSPECT AND REPAIR AS MAY BE REQUIRED, ALL EROSION CONTROL FACILITIES.

ST. VRAIN SANITATION DISTRICT GENERAL CONSTRUCTION NOTES REVISED 4/2010

- 1. DISTRICT SHALL REFER TO THE ST. VRAIN SANITATION DISTRICT IN THESE NOTES.
- 2. DISTRICT'S ACCEPTANCE OF THESE PLANS IS VALID FOR ONE YEAR.
- 3. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE DISTRICT STANDARDS.
- 4. CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION.
- 5. THE CONTRACTOR SHALL NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION OR PRIOR TO RESUMING CONSTRUCTION AFTER A BREAK.
- 6. SANITARY SEWER SHALL BE POLYVINYL CHLORIDE (PVC) PIPE, ASTM D3034-SDR35 (OR AS INDICATED ON
- 7. ALL CONCRETE SHALL BE MINIMUM 4000 PSI AT 28 DAY STRENGTH.
- 8. MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL SEPARATION OUTSIDE DIAMETER TO OUTSIDE DIAMETER BETWEEN WATER LINES AND ALL SEWER LINES AND MANHOLES.
- 9. ALL SEWER MAINS CROSSINGS WATER MAINS WITH LESS THAN 18 INCHES OF SEPARATION SHALL BE
- 10. RIM ELEVATIONS SHOWN ARE APPROXIMATE AND SHOULD NOT BE TAKEN AS FINAL. ALL MANHOLES SHALL BE FINAL ADJUSTED AFTER PAVING SUCH THAT THE RIM IS ½ TO ½ INCH BELOW FINISHED ASPHALT. MANHOLES IN UNPAVED AREAS SHALL BE SET SO THAT THE RIM IS 0.5' ABOVE FINISHED GRADE.
- 11. THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING ACTUAL RECORD DRAWING DIMENSIONS AND DISTANCES AS WELL AS SERVICE LOCATIONS ON THESE PLANS AND SUBMITTING THEM TO THE ENGINEER FOR PREPARATION OF RECORD DRAWINGS. THESE DRAWINGS SHALL BE KEPT CURRENT AT ALL TIMES.
- 12. BEFORE ANY CONSTRUCTION COMMENCES, A PLUG SHALL BE INSTALLED TO PREVENT DRAINAGE THROUGH THE NEW SEWER LINE FROM ENTERING THE EXISTING SEWER LINE. THIS PLUG SHALL BE INSTALLED IN THE MANHOLE, WHICH CONNECTS NEW WORK WITH EXISTING AND NOT BE REMOVED UNTIL INITIAL ACCEPTANCE.
- 13. UNDERDRAINS, IF INSTALLED, ARE THE RESPONSIBILITY OF THE DEVELOPER. DISTRICT ASSUMES NO LIABILITY FOR ANY PORTION OF OR ANY DAMAGE CAUSED BY UNDERDRAINS. ABSOLUTELY NO PART OF AN UNDERDRAIN SYSTEM, INCLUDING CLEAN OUTS, WILL BE ALLOWED INSIDE OF SANITARY SEWER MANHOLES. ALL UNDERDRAINS SHALL BE INSTALLED BELOW THE SANITARY SEWER AND OFFSET TO THE SIDE. PIPE MATERIAL SHALL BE DIFFERENT COLOR THAN SANITARY SEWER.
- 14. NO SERVICE LATERALS SMALLER THAN 8 INCH IN DIAMETER SHALL ENTER MANHOLES.
- 15. SERVICE CROSSING OF CURB SHALL BE MARKED WITH A CUT "S" IN CURB FACE. PAINT IS NOT ACCEPTABLE. SERVICE SHALL BE EXTENDED INTO THE LOT A MINIMUM OF 10 FEET.
- 16. CONTRACTOR SHALL MARK THE END OF ALL SEWER SERVICES WITH A 2" X 4" BOARD WITH MINIMUM OF FOUR (4) FEET ABOVE GRADE, PAINTED GREEN.
- 17. ALL PIPES SHALL HAVE SQUEEGIE (CDOT #8 BEDDING) UNLESS OTHERWISE SHOWN OR THE DISTRICT MAY APPROVE AN ALTERNATE BEDDING IN SPECIAL CASES.
- 18. CUT OFF WALLS WILL BE INSTALLED 10' DOWN STREAM OF EACH MANHOLE ON THE MAIN OUTFALL LINE.
- 19. THE WARRANTY BOND SHALL BE IN THE AMOUNT OF \$5,000.00 OR 15% OF THE TOTAL COST OF THE SEWER, WHICHEVER IS GREATER.
- 20. PRIOR TO APPROVAL, ALL SANITARY SEWER PIPES SHALL BE PRESSURE—TESTED PER ASTM C924. ALL MANHOLES SHALL BE VACUUM—TESTED PER UNI—B—98.
- 21. PRIOR TO REMOVAL OF PLUGS AT MANHOLES, PIPE SHALL BE JET-CLEANED AND VACUUMED TO REMOVE DEBRIS AND VIDEOED. NOTICE SHALL BE GIVEN TO THE DISTRICT INSPECTOR ONE (1) WEEK PRIOR TO CLEANING. INSPECTOR MUST BE PRESENT DURING THE OPERATION. ONCE APPROVAL HAS BEEN GIVEN BY INSPECTOR, PLUGS MAY BE ONLY BE REMOVED AFTER INITIAL ACCEPTANCE BY THE DISTRICT.
- 22. THE FINAL RECORDED PLAT AND RECORDED ADDRESS PLAT SHALL BE PROVIDED TO THE DISTRICT FOR INITIAL ACCEPTANCE.
- 23. TWENTY (20) MONTHS AFTER CONSTRUCTION AND PRIOR TO THE EXPIRATION OF WARRANTY, THE DEVELOPER SHALL CAMERA/VIDEO THE SANITARY SEWER LINES AND PROVIDE A DVD TO THE DISTRICT FOR REVIEW.

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Agra Holdings	, L.P. Building Expansion	Checked TWC	Checked TWC
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Name of Submittal:	AGRA HOLDINGS, L.P. BUILDING EXPANSION	Date MARC	CH 23, 2012
	FDP	Job No. 0150	1
Filing Number:	-		
Phase Number:		D- 0150.	.7
Preparation Date:	01/11/2012		
Revision Date:	02/24/2012	l SHI	EET
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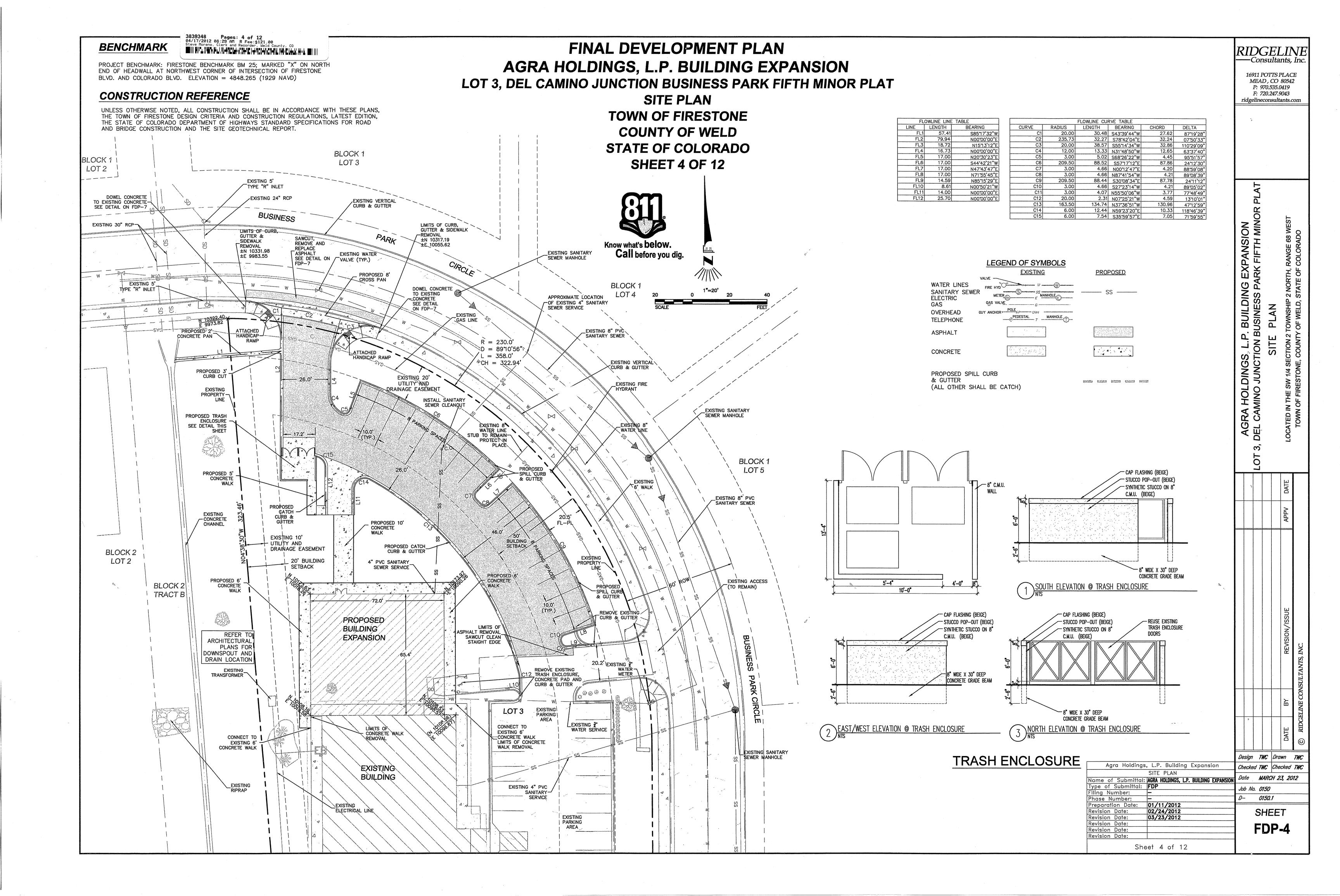
P. BUILDING EXPANSION BUSINESS PARK FIFTH MINO SHE AGRA HOLDINGS, L. 0 Design TWC Drawn TWC

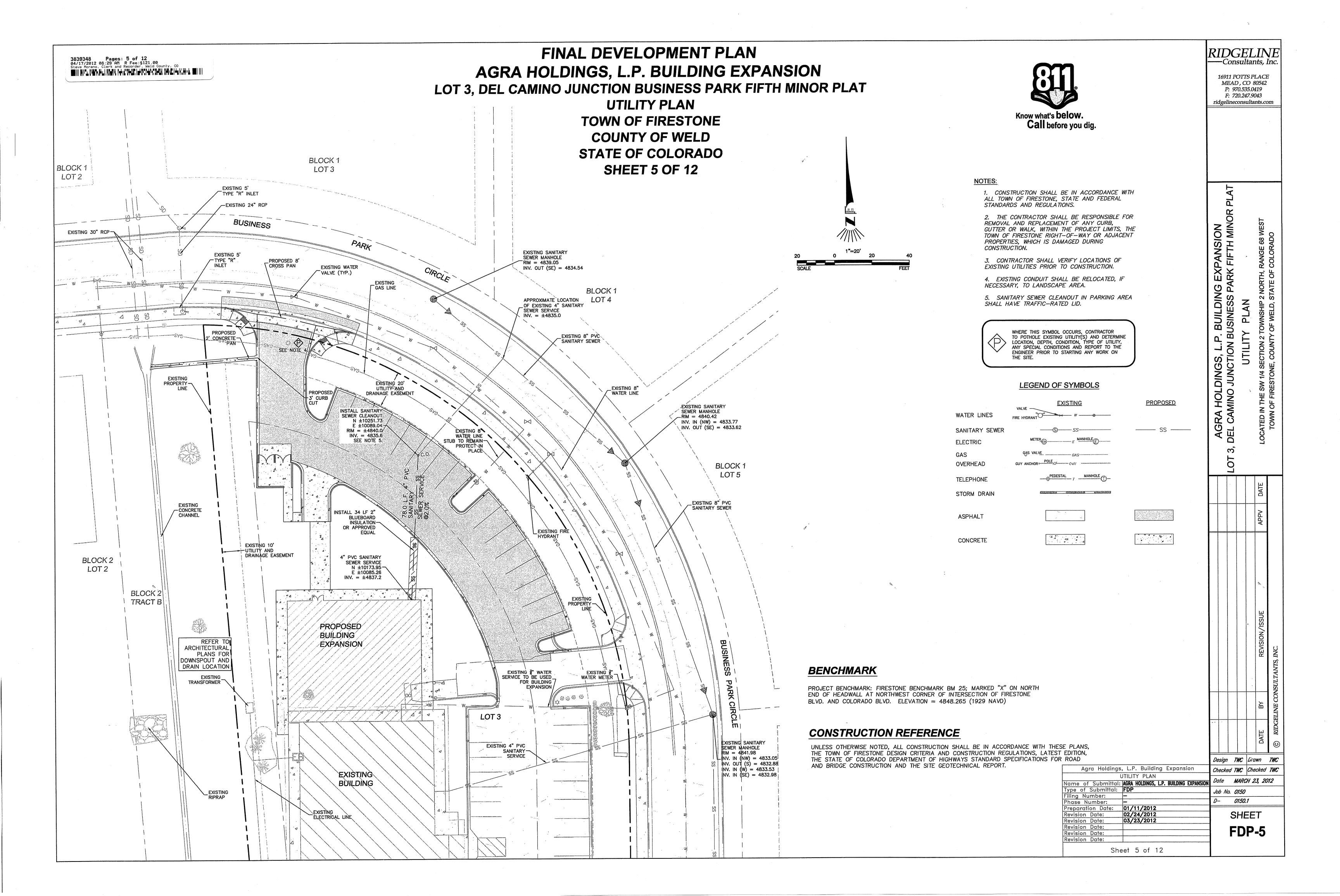
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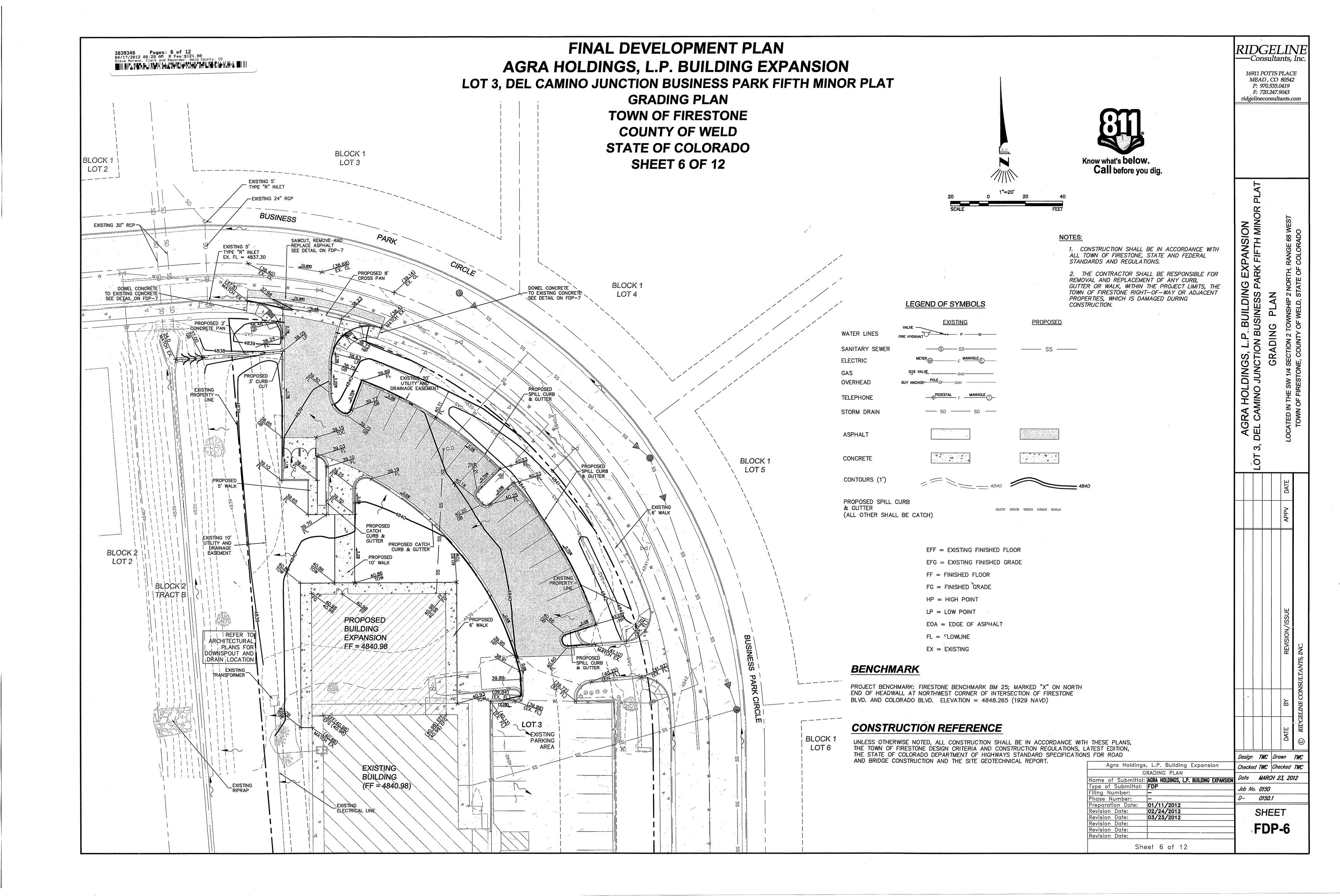
–Consultants, Inc

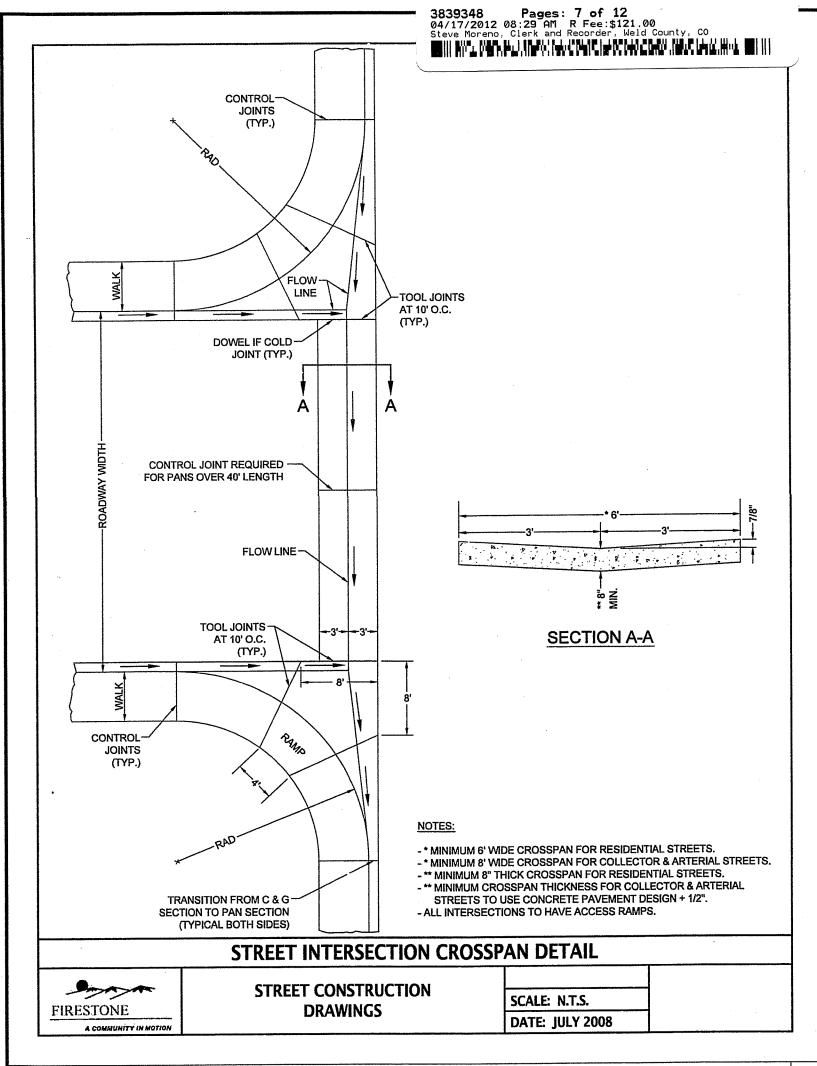
16911 POTTS PLACE MEAD, CO 80542

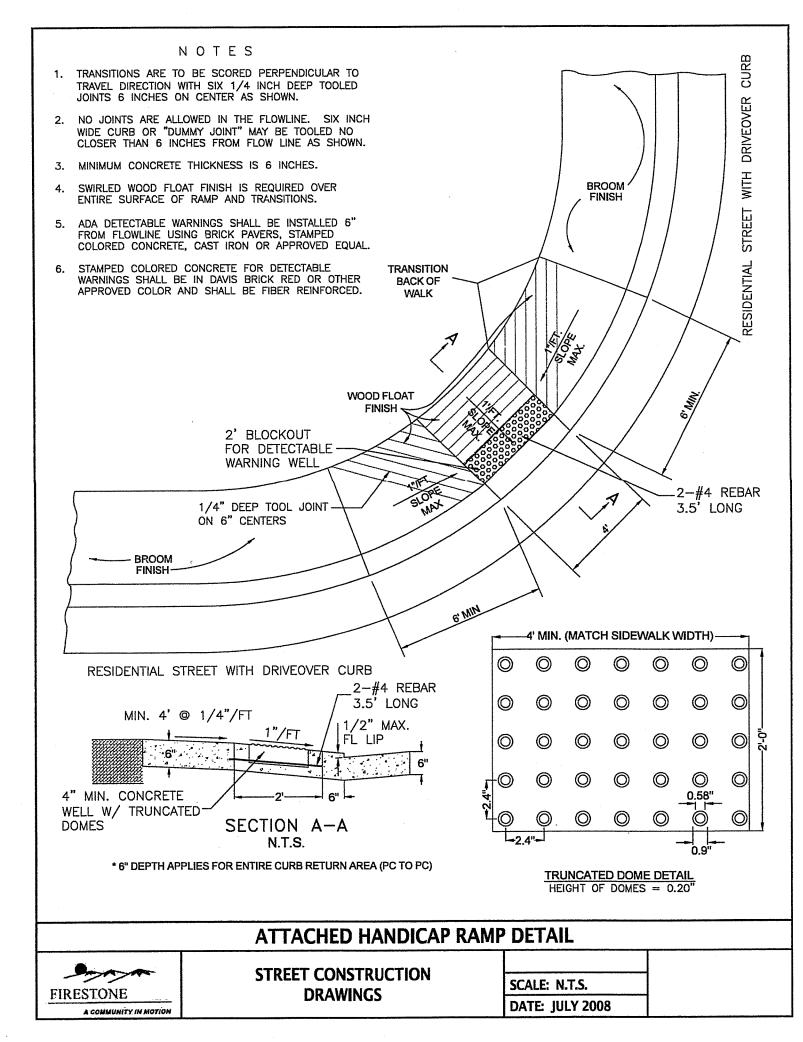
P: 970.535.0419 F: 720.247.9043 ridgelineconsultants.com

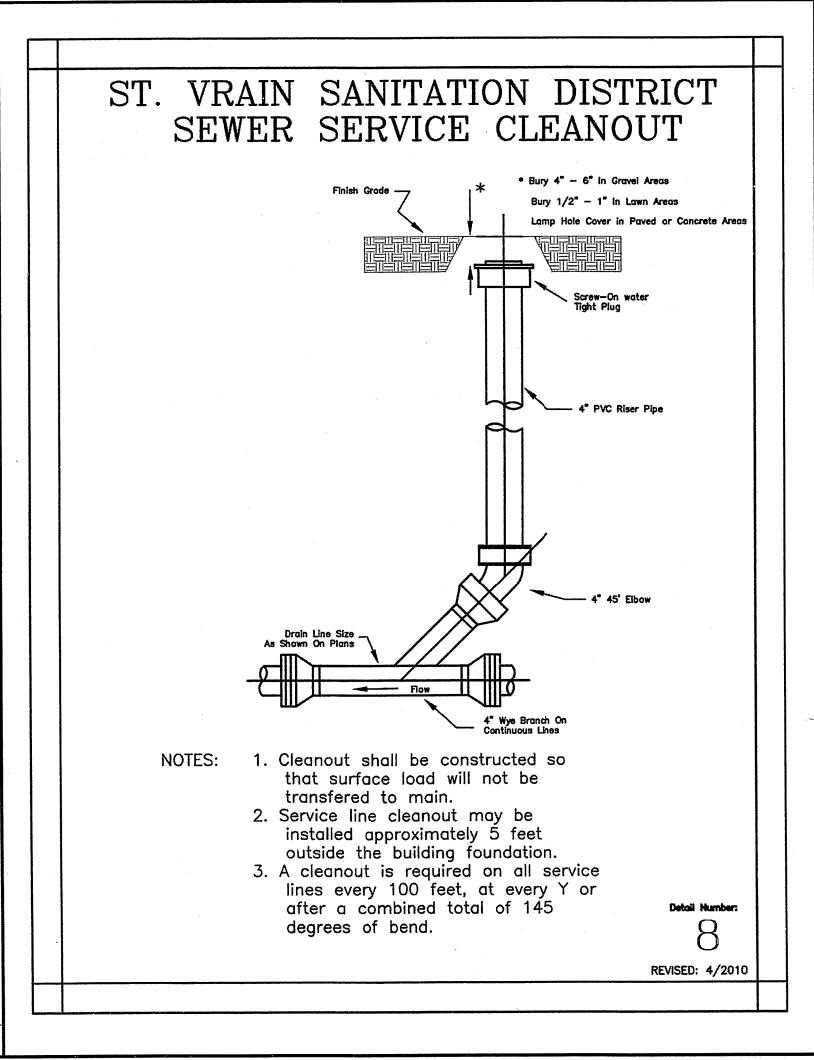




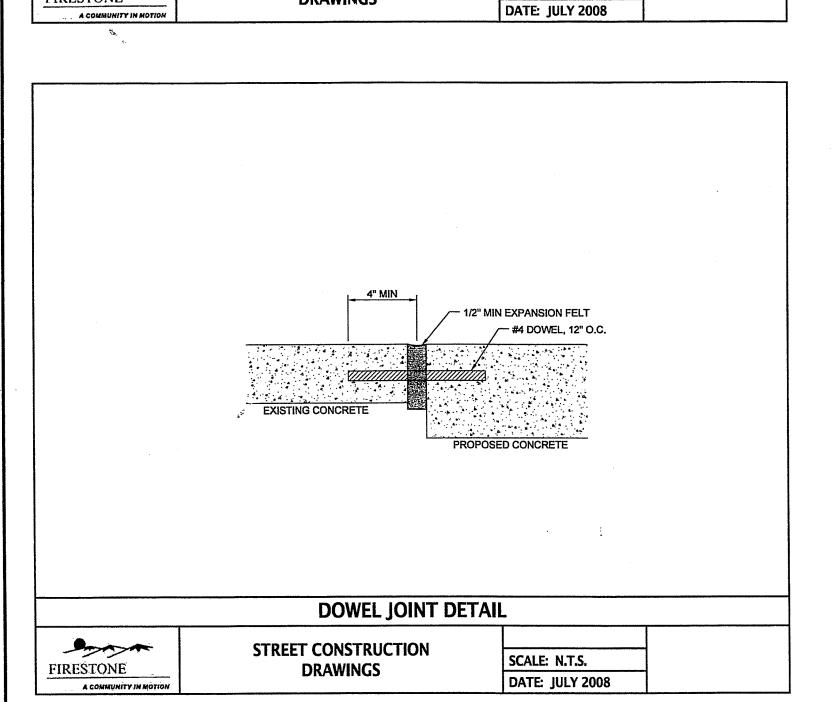








FINAL DEVELOPMENT PLAN RIDGELINE —Consultants, Inc. AGRA HOLDINGS, L.P. BUILDING EXPANSION 16911 POTTS PLACE MEAD , CO 80542 P: 970.535.0419 LOT 3, DEL CAMINO JUNCTION BUSINESS PARK FIFTH MINOR PLAT SITE AND UTILITY DETAILS riagelineconsultants.com **TOWN OF FIRESTONE COUNTY OF WELD** STATE OF COLORADO **SHEET 7 OF 12 CATCH CURB & GUTTER** 1. COORDINATE LOCATION OF CURB CUTS WITH DOWNSPOUTS, SWALES, OR OTHER FEATURES AS 1 1/2" R-DETAIL SPILL CURB & GUTTER **CONCRETE CURB & GUTTER** 3' CURB CUT 4' MINIMUM - EXIST. EDGE 3" MILL & OVERLAY EXIST. ASPHALT



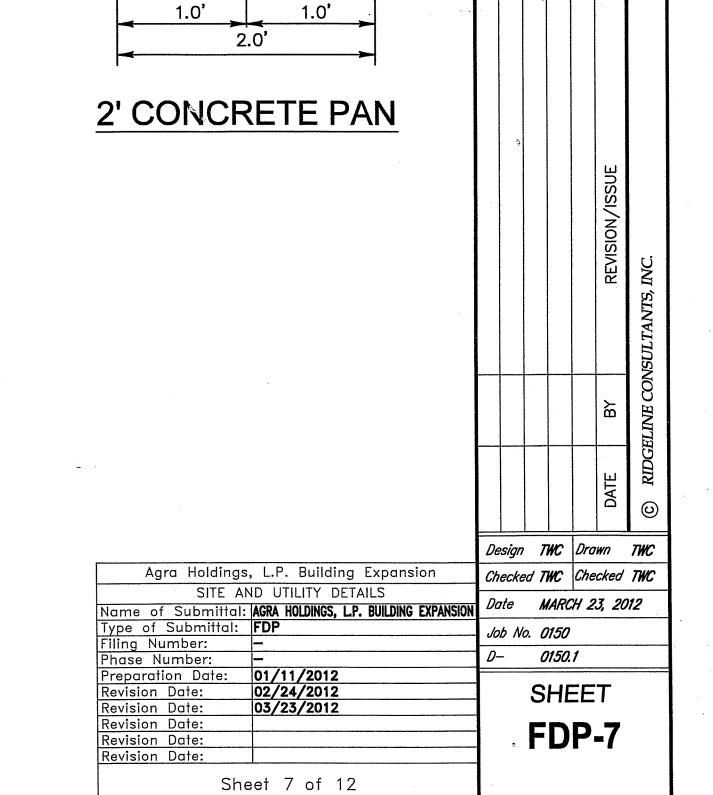
STREET TEE-CUT DETAIL

SCALE: N.T.S.

STREET CONSTRUCTION

DRAWINGS

FIRESTONE

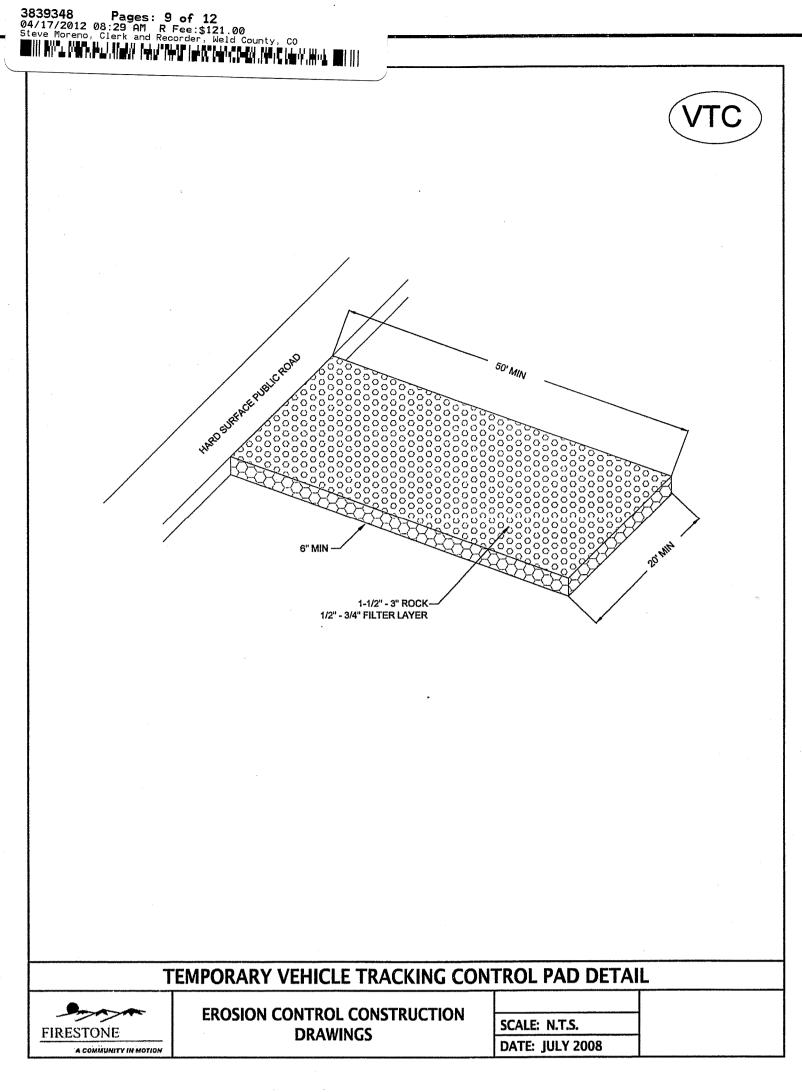


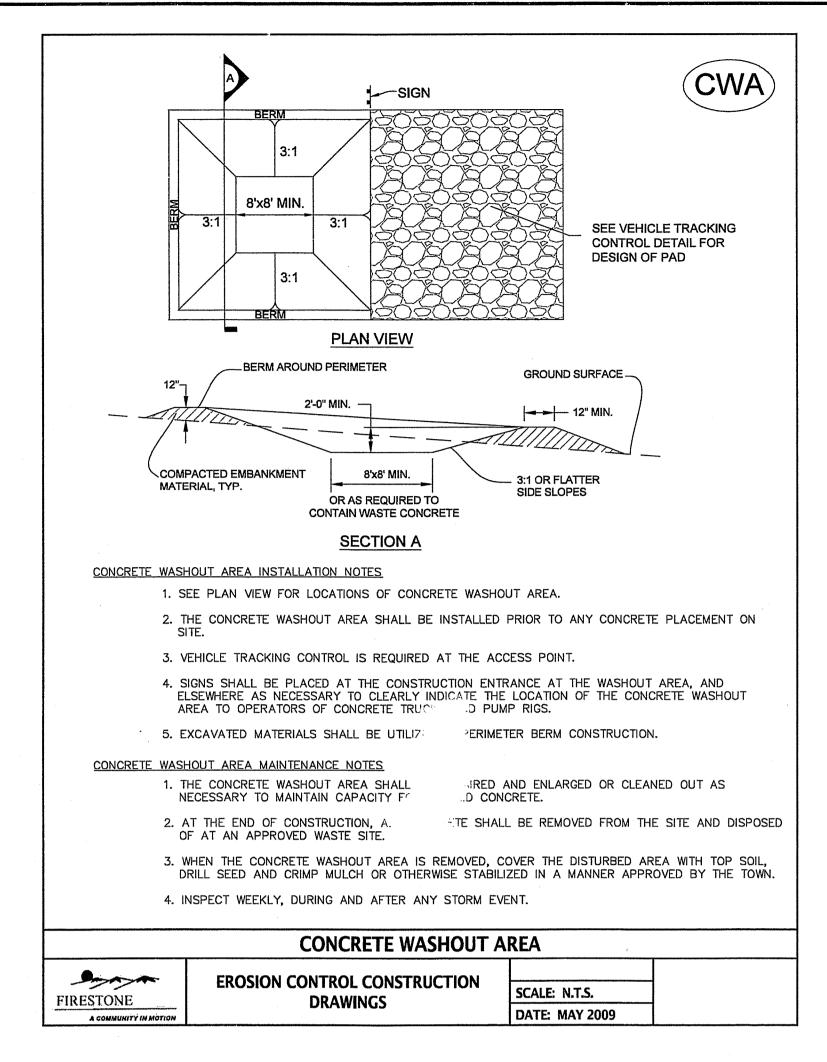
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—Consultants, Inc. FINAL DEVELOPMENT PLAN AGRA HOLDINGS, L.P. BUILDING EXPANSION 16911 POTTS PLACE MEAD, CO 80542 LOT 3, DEL CAMINO JUNCTION BUSINESS PARK FIFTH MINOR PLAT P: 970.535.0419 F: 720.247.9043 ridgelineconsultants.com **EROSION CONTROL PLAN** Know what's below.

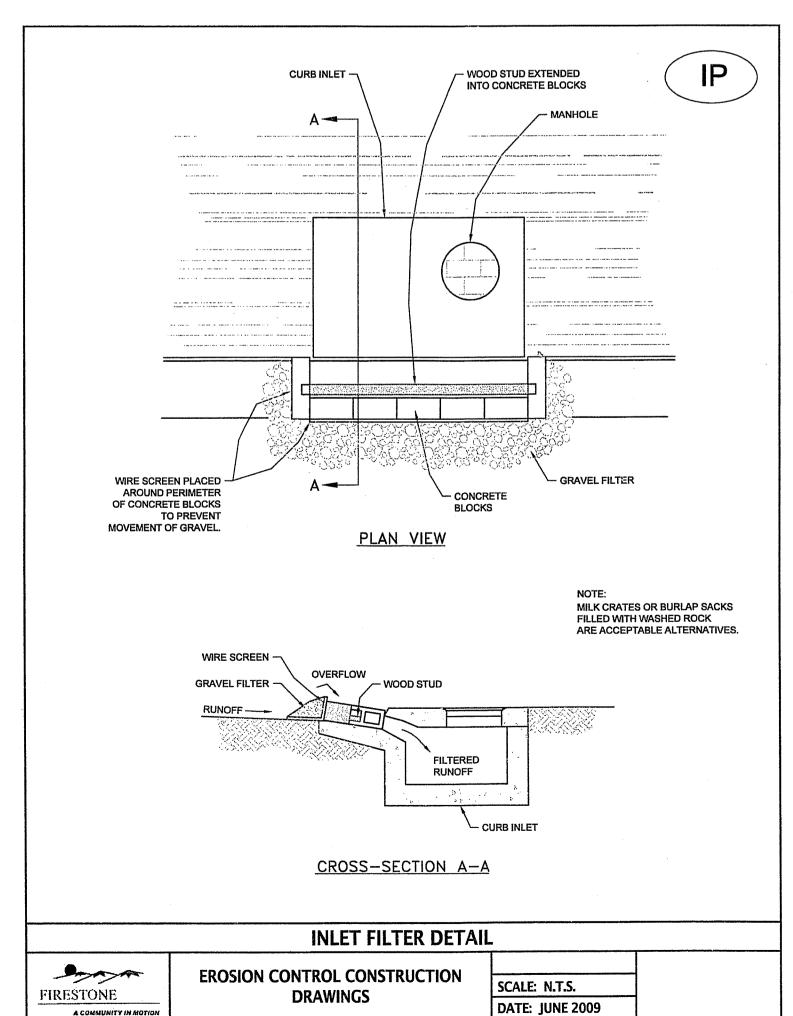
Call before you dig. **TOWN OF FIRESTONE COUNTY OF WELD** STATE OF COLORADO SHEET 8 OF 12 BLOCK 1 LEGEND OF SYMBOLS <u>PROPOSED</u> EXISTING 5' TYPE "R" INLET BUSINESS ELECTRIC TELEPHONE STORM DRAIN _CONSTRUCTION ACCESS BLOCK 1 LOT 4 **ASPHALT** 4 30 CONCRETE CONTOURS (1') SILT FENCE VTC VEHICLE TRACKING CONTROL CWA CONCRETE WASHOUT AREA SW SW STRAW WATTLE (IP) INLET FILTER BLOCK 1 EXISTING CONCRETE \ 1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF FIRESTONE, STATE AND FEDERAL STANDARDS AND REGULATIONS. EXISTING 10'

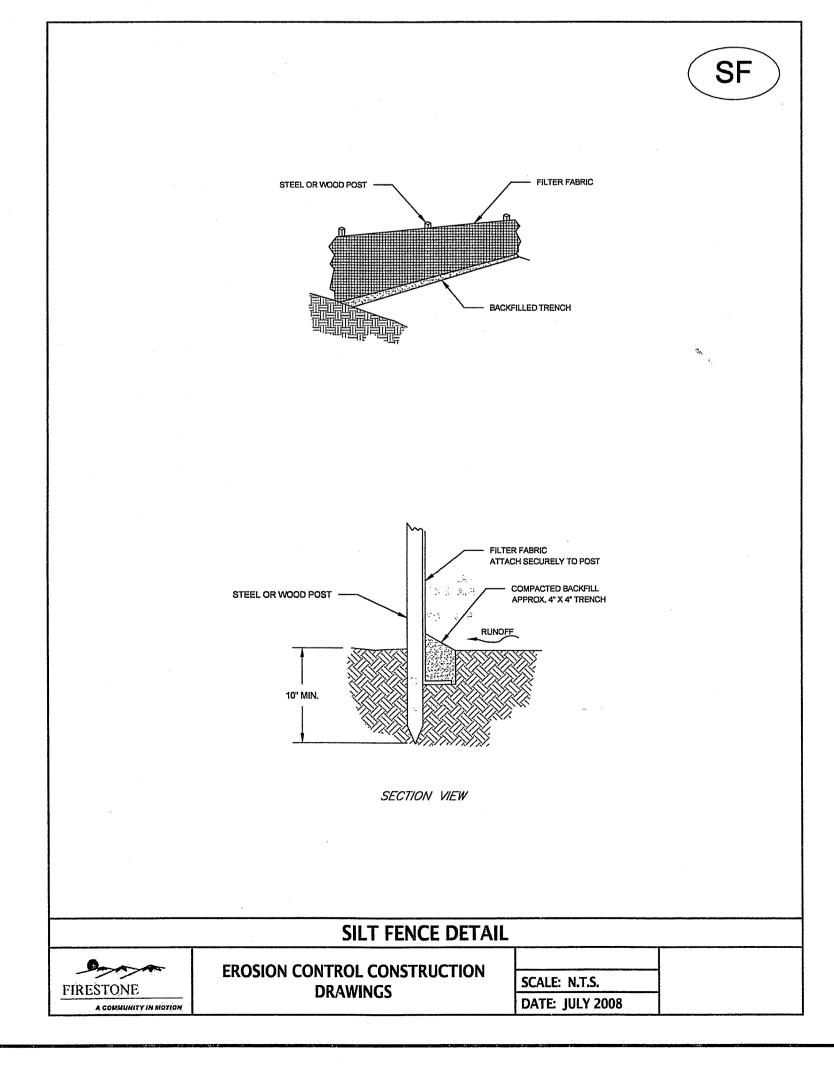
- UTILITY AND

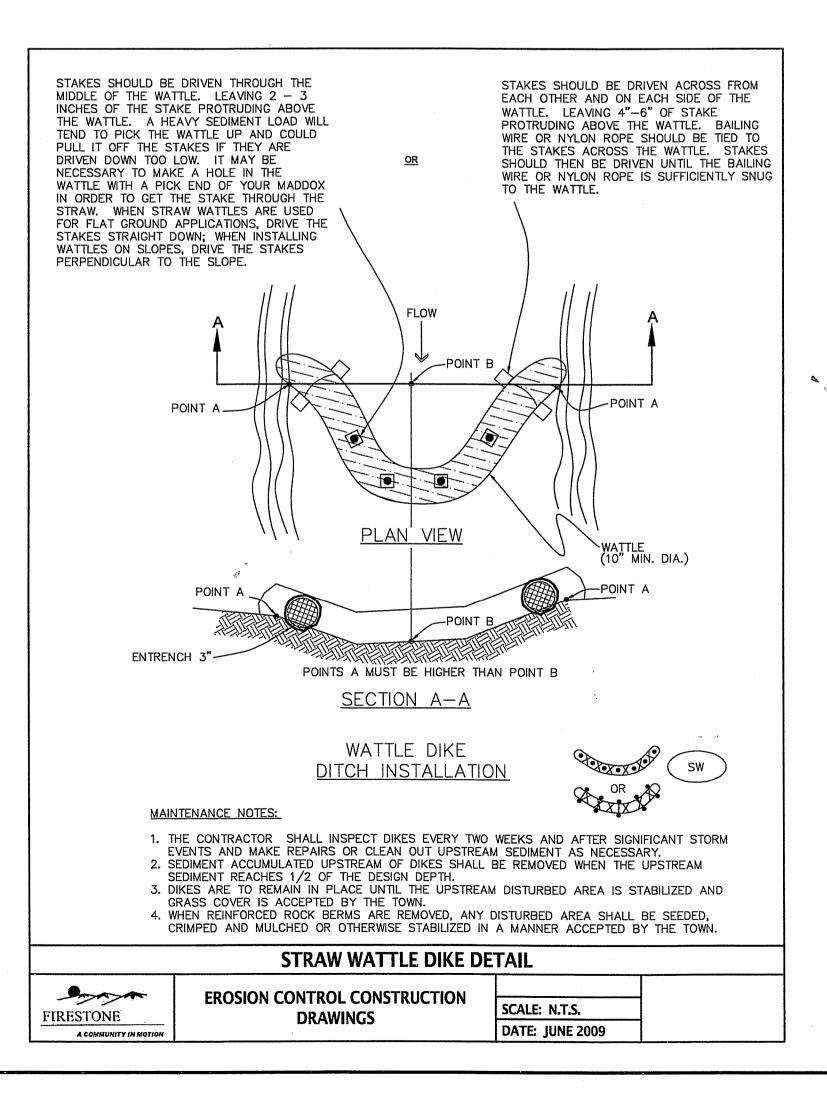
DRAINAGE ASEMENT 2. THE CONTRACTOR SHALL BE RESPONSIBLE BLOCK 2 FOR REMOVAL AND REPLACEMENT OF ANY CURB, GUTTER OR WALK, WITHIN THE PROJECT LIMITS, THE TOWN OF FIRESTONE RIGHT-OF-WAY OR ADJACENT PROPERTIES, WHICH IS DAMAGED DURING CONSTRUCTION. BLOCK 2 3. ANY EXISTING VEGETATION DISTURBED DURING CONSTRUCTION SHALL BE RESEEDED ACCORDING TO TOWN OF FIRESTONE STANDARDS. CONSTRUCTION 4. RUNOFF AWAY FROM THE BUILDING SHALL PROPOSED ACCESS BE MAINTAINED AT ALL TIMES. BUILDING EXPANSION BENCHMARK PROJECT BENCHMARK: FIRESTONE BENCHMARK BM 25; MARKED "X" ON NORTH END OF HEADWALL AT NORTHWEST CORNER OF INTERSECTION OF FIRESTONE BLVD. AND COLORADO BLVD. ELEVATION = 4848.265 (1929 NAVD) CONSTRUCTION REFERENCE UNLESS OTHERWISE NOTED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS, THE TOWN OF FIRESTONE DESIGN CRITERIA AND CONSTRUCTION REGULATIONS, LATEST EDITION, THE STATE OF COLORADO DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE SITE GEOTECHNICAL REPORT. Design TWC Drawn TWC Agra Holdings, L.P. Building Expansion Checked TWC | Checked TWC EROSION CONTROL PLAN EXISTING Date MARCH 23, 2012 Name of Submittal: AGRA HOLDINGS, L.P. BUILDING EXPANSION BUILDING Type of Submittal: FDP Job No. 0150 _EXISTING RIPRAP Filing Number: 0150.1 Phase Number: 01/11/2012 02/24/2012 03/23/2012 Preparation Date: SHEET Revision Date: Revision Date: Revision Date: FDP-8 Revision Date: Revision Date: Sheet 8 of 12











FINAL DEVELOPMENT PLAN

AGRA HOLDINGS, L.P. BUILDING EXPANSION

EROSION CONTROL DETAILS

TOWN OF FIRESTONE

COUNTY OF WELD

STATE OF COLORADO

SHEET 9 OF 12

RIDGELINE
—Consultants, Inc. 16911 POTTS PLACE LOT 3, DEL CAMINO JUNCTION BUSINESS PARK FIFTH MINOR PLAT MEAD, CO 80542

P: 970.535.0419 F: 720.247.9043 ridgelineconsultants.com

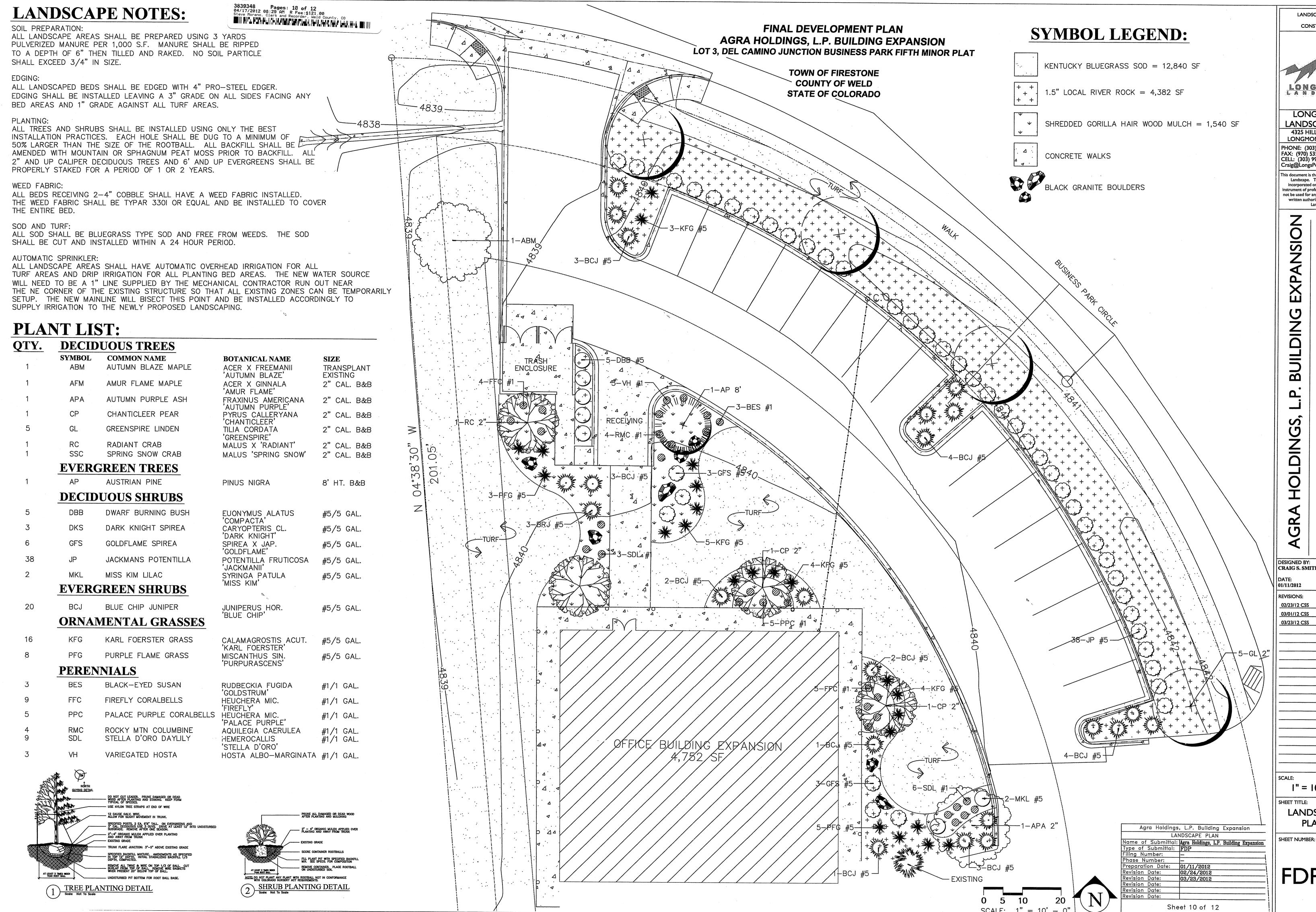
EROSION

Design TWC Drawn TWC Agra Holdings, L.P. Building Expansion Checked TWC | Checked TWC EROSION CONTROL DETAILS Name of Submittal: AGRA HOLDINGS, L.P. BUILDING EXPANSION Date MARCH 23, 2012 Type of Submittal: **FDP** Filing Number: 0150.1 Phase Number:

> 02/24/2012 FDP-9

Revision Date: 03/23/2012 Revision Date: Revision Date: Revision Date: Sheet 9 of 12

Revision Date:



LANDSCAPE DESIGN & CONSTRUCTION

LONGS PEAK

LANDSCAPE, INC. 4325 HILLTOP ROAD LONGMONT, CO. 80504 PHONE: (303)-682-2857 FAX: (970) 535-6125 CELL: (303) 990-6298 Craig@LongsPeakLandscape.com

instrument of professional service and shall not be used for any other project without written authorization of Longs Peak Landscape.

JUNCTION

BLO m

DESIGNED BY: CRAIG S. SMITH

1" = 10' - 0"

LANDSCAPE PLAN

FDP-10

